

# NEW RESIDENCE

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PAGE No: A000  
DWG BY: TN CHECKED BY: TN  
JOB No: 24-205  
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ISSUE	DESCRIPTION	DATE	AUTHOR
1E	DRAFT FLOOR PLANS	30-07-2024	TN

AT NO POINT OR ANY STAGE DO THESE PLANS WARRANT/GUARANTEE BUILDING APPROVAL. NOR DO THESE PLANS PERMIT ANY BUILDER, HOMEOWNER OR CONSULTANT THE ABILITY TO PERFORM ANY BUILDING WORK WITHOUT THE REQUIRED LOCAL AUTHORITY REQUIREMENTS. THIS REQUIREMENT IS USUALLY EXPRESSED IN THE FORM OF A STAMPED BUILDING APPROVAL PLAN FROM PRIVATE CERTIFICATION.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL BUILDING DESIGN AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE DESIGNER OR ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE.

CARE HAS BEEN TAKEN TO ACHIEVE ACCURACY HOWEVER ALL INFORMATION ON THIS PLAN SHOULD BE REGARDED AS APPROXIMATE .

ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.

UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METERS AND ALL DIMENSIONS ARE IN MILLIMETERS.

DETAIL OF THE CUT & FILL REQUIREMENTS FOR THIS BUILDING SITE IS BASED ON SURFACE LEVELS TAKEN AND THE OWNER/BUILDER SPECIFIED REQUIREMENTS. SUCH DETAIL IS SUBJECT TO VARIATION DEPENDANT UPON GROUND CONDITIONS ENCOUNTERED. SOIL TEST RESULTS AND LOCAL AUTHORITY REQUIREMENTS. CONTOURS AND R.L.s, WHERE SHOWN, ARE INDICATIVE ONLY, SOME LEVELS MAY CHANGE DUE TO ACTUAL CONDITIONS ON SITE.

CLEAR BUILDING AREA OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER. REMOVE ALL STUMPS & ROOTS. STOCKPILE TOP SOIL FOR REUSE ON COMPLETION OF BUILDING CONSTRUCTION. TOP SOIL IS NOT TO BE USED AS FILL MATERIAL.

ALL CUT AND FILL EMBANKMENTS TO BE NO STEEPER THAN 1:2 AND ALL DRIVEWAYS TO BE NO STEEPER THAN 1:6 ALL EARTHWORKS TO BE IN ACCORDANCE TO A.S. 2870.

SLOPE BUILDING PAD TO DRAIN ALL SURFACE WATER AWAY FROM RESIDENCE AS PER BCA PART 3.1.2 DRAINAGE

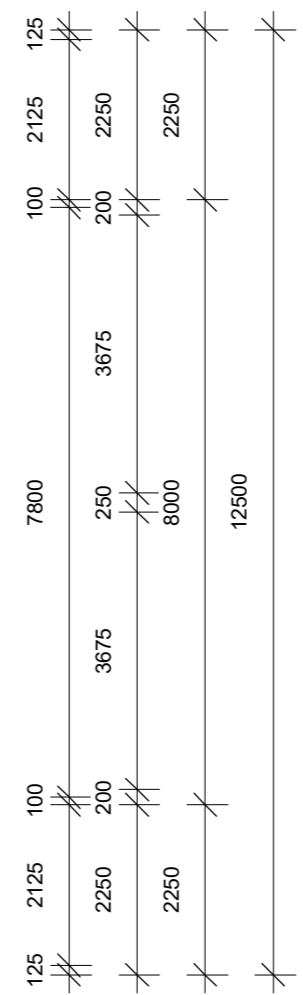
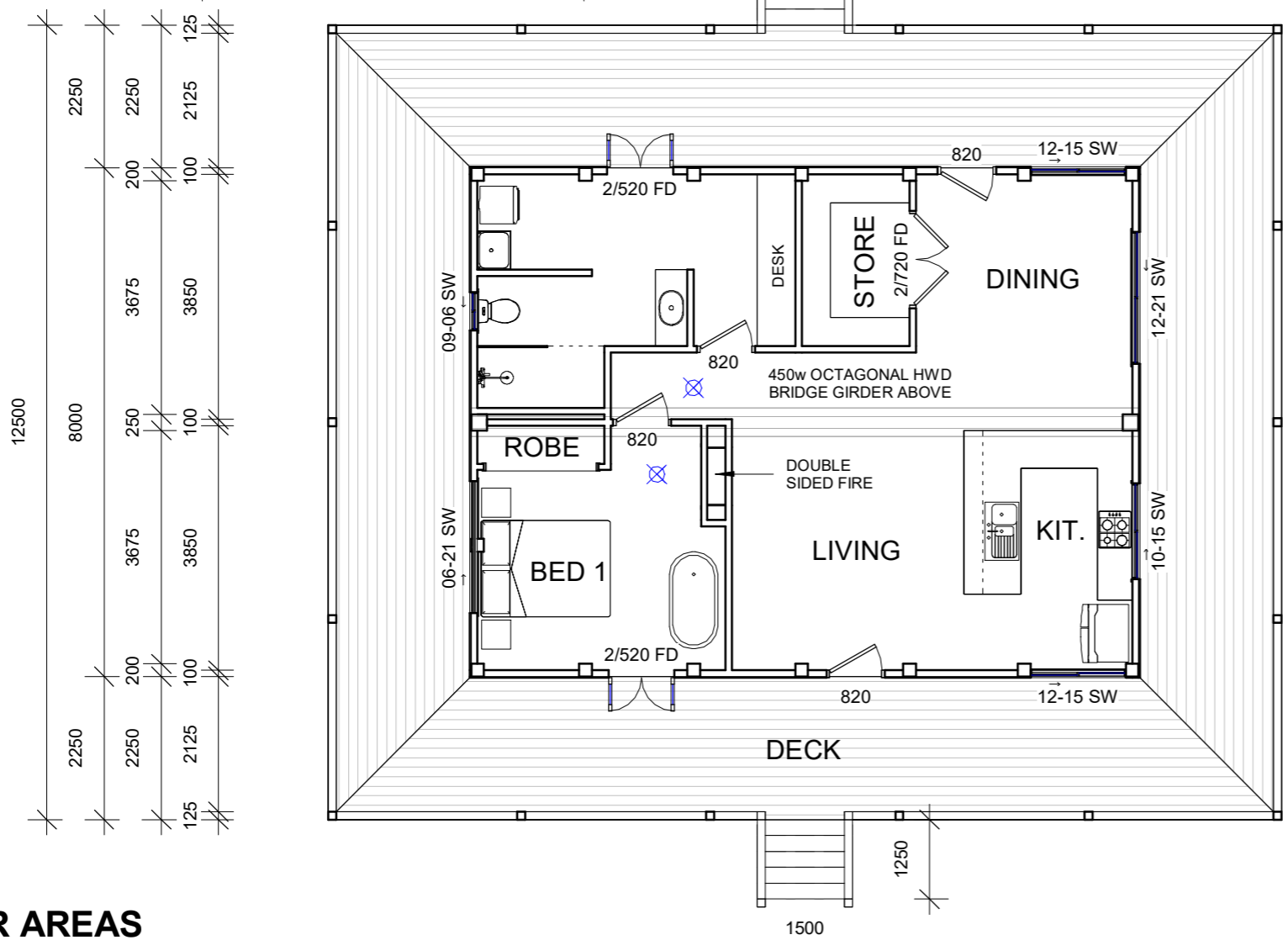
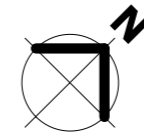
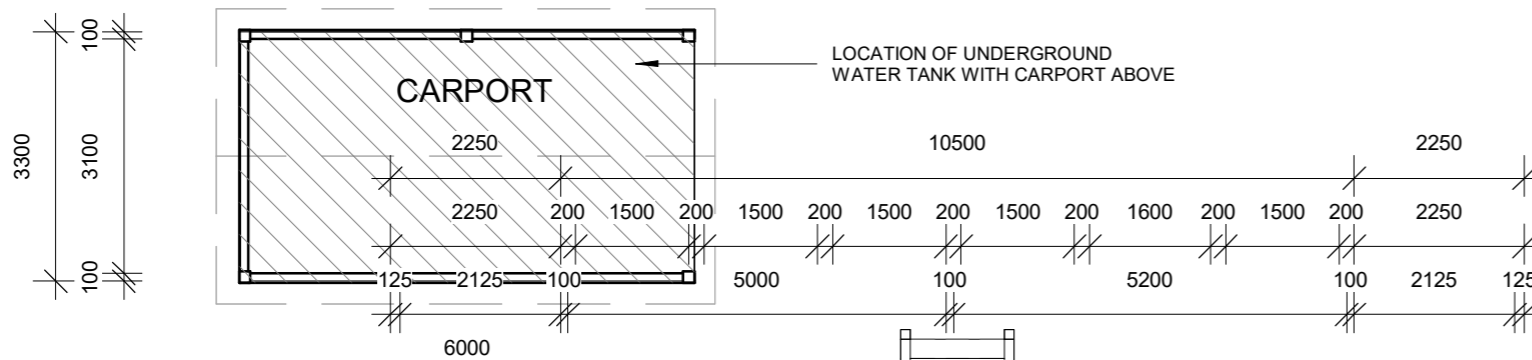
SITE WORKS INDICATED ON THIS PLAN ARE FOR CONSTRUCTION PURPOSES ONLY. IT IS THE CLIENTS RESPONSIBILITY TO CARRY OUT ALL LANDSCAPING, SITE DRAINAGE, RETAINING WALLS AFTER COMPLETION OF CONSTRUCTION. ALL RETAINING WALLS & EMBANKMENTS SHOWN ARE TO COMPLY WITH THE LOCAL AUTHORITIES POLICY FOR RETAINING WALLS & EMBANKMENTS ON RESIDENTIAL BUILDING SITES. POSITION OF RETAINING WALLS & EMBANKMENTS MAY VARY ACCORDING TO SITE WORKS.

LEVEL OF CONCRETE FLOOR SLAB TO DWELLING IS TO BE VERIFIED BY BUILDER TO ENSURE THAT A MINIMUM HEIGHT ABOVE FINISHED GROUND LEVEL IS ATTAINED IN ACCORDANCE TO THE B.C.A., QLD BUILDING ACT- AMENDMENT ACT 1991 & THE LOCAL AUTHORITY POLICY AND TO CONFIRM CUT AND FILL LEVELS. THE SAME PRINCIPAL IS TO BE APPLIED WHEN CONSIDERING THE CAVITY BETWEEN THE LOWER FLOOR CEILING AND THE UPPERFLOOR TO ENSURE ADEQUATE SPACING FOR SERVICES.

BUILDER TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

CONFIRM THAT ALL SURVEY PEGS ARE IN THE CORRECT POSITION BEFORE SETTING OUT THE BUILDING. IF ANY DOUBT ARISES CONTACT THE BUILDER/SURVEYOR. THE RELATIONSHIP BETWEEN OCCUPATION AND THE PLOTTED BOUNDARY IS INDICATIVE i.e. THIS IS NOT A BOUNDARY SURVEY.

AFTER COMPLETION OF CONSTRUCTION OF THE DWELLING, THE OWNER SHALL MAINTAIN THE SITE & DWELLING IN ACCORDANCE WITH THE C.S.I.R.O. LEAFLET SHEET No. 10-91 'GUIDE TO HOMEOWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE'.



- COMPLIANCE NOTES:**
1. Stairs are to comply with NCC - ABCB - Part 11.2 - Stairway and Ramp Construction
  2. Handrails/Balustrades to comply with NCC - ABCB - Part 11.3 - Barriers and Handrails
  3. WC Doors to comply with NCC - ABCB - Part 10.4 - Facilities
  4. All wet areas to comply with NCC - ABCB - Part 10.2 - Wet area waterproofing
  5. Lighting to comply with NCC - ABCB - Part 10.5 - Light
  6. Ventilation to comply with NCC - ABCB - Part 10.6 - Ventilation
  7. Termite protection to comply with NCC - ABCB - Part 3.4 - Termite risk management
  8. Masonry Construction to comply with NCC - ABCB - Part 5 - Masonry
  9. All workmanship and materials to comply with all relevant Australian Standards and the National Construction Code
  10. All glazing in buildings to comply with the requirements of Part 8 NCC - ABCB and AS 1288/1994. A glazing certificate from the manufacturer for compliance with AS 1288 must be provided on completion

**BUILDERS TO NOTE:**  
 All levels and dimensions are to be checked and verified on site prior to the commencement of any building work or production of shop drawings. All design and construction methods and materials to be in accordance with:  
 The National Construction Code (NCC), the Queensland Development Code (QDC), the building act 1975, current issues of Australian standards & manufacturer's specifications and installation details for materials and product used.  
 Do not scale drawings. Figured dimensions take precedence over scale. **IF IN DOUBT, ASK!!!**

**LEGEND:**

- NEW STEEL BEAM
- NEW STEEL PFC BEAM
- SHS POST
- BEARER AS PER FRAMING PLAN
- STUD WALL
- BLOCKWORK WALL

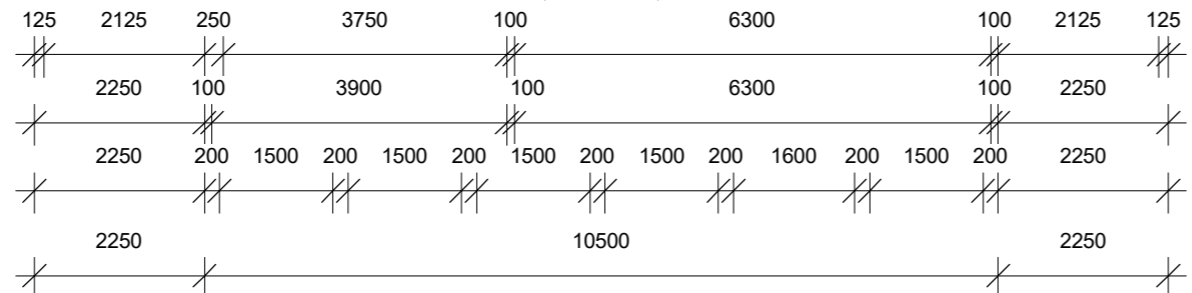
**NOTE:** ALL WINDOW AND SLIDING DOOR SIZES ARE HEIGHT x WIDTH

- SW SLIDING WINDOW
- FD FRENCH DOOR
- LVR LOUVRE WINDOW
- FX FIXED WINDOW
- SD SLIDING DOOR
- AW AWNING WINDOW
- DH DOUBLE HUNG
- GB GLASS BRICKS
- C CASEMENT
- OBS OBSCURE GLASS
- SD SMOKE DETECTOR

SMOKE ALARMS TO BE IN ACCORDANCE WITH AS3786-2014

**FLOOR AREAS**

Deck Area	103.5 m <sup>2</sup>
Living Area	84.0 m <sup>2</sup>
Grand total	187.5 m <sup>2</sup>



**2 PROPOSED FLOOR PLAN**

1 : 100

**NOT FOR CONSTRUCTION**  
 CONSTRUCTION PLANS ISSUED AT COMPLETION OF SURVEY BY LICENSED SURVEYOR

- All design, construction methods and materials to be in accordance with:
- The National Construction Code
  - The Housing Provisions Standard
  - The Building Code of Australia (BCA);
  - The Queensland Development Code (QDC);
  - Building Regulations;
  - Current issues of Australian Standards & Manufacturer's specifications

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PROJECT: NEW RESIDENCE

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 SITE ADDRESS: NORFOLK ISLAND

PAGE No:	A001
DWG BY:	TN
CHECKED BY:	TN
SCALE:	As indicated
JOB No:	24-205
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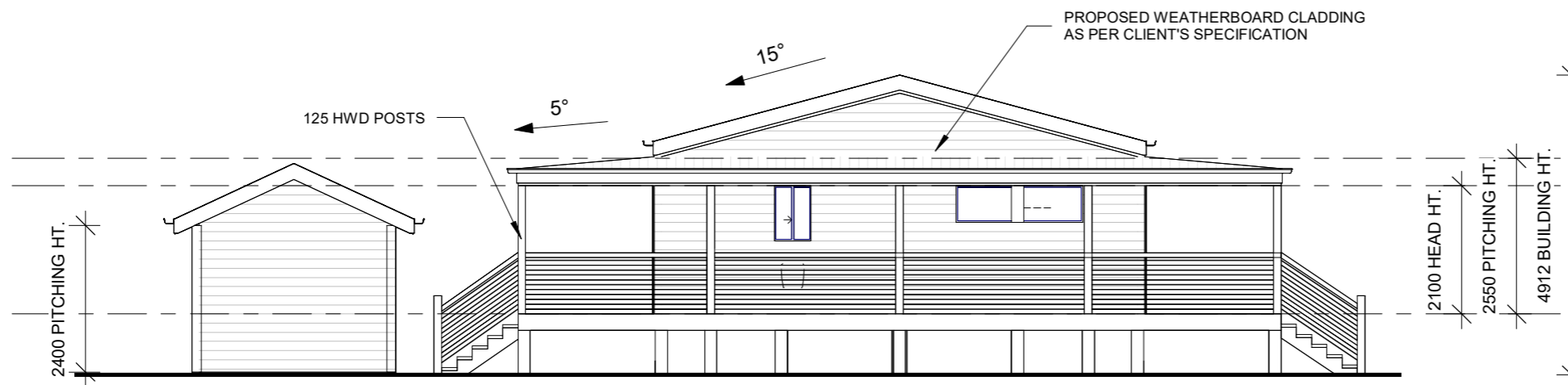


### 3 FRONT ELEVATION

1 : 100

#### COMPLIANCE NOTES:

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### 4 LEFT-SIDE ELEVATION

1 : 100

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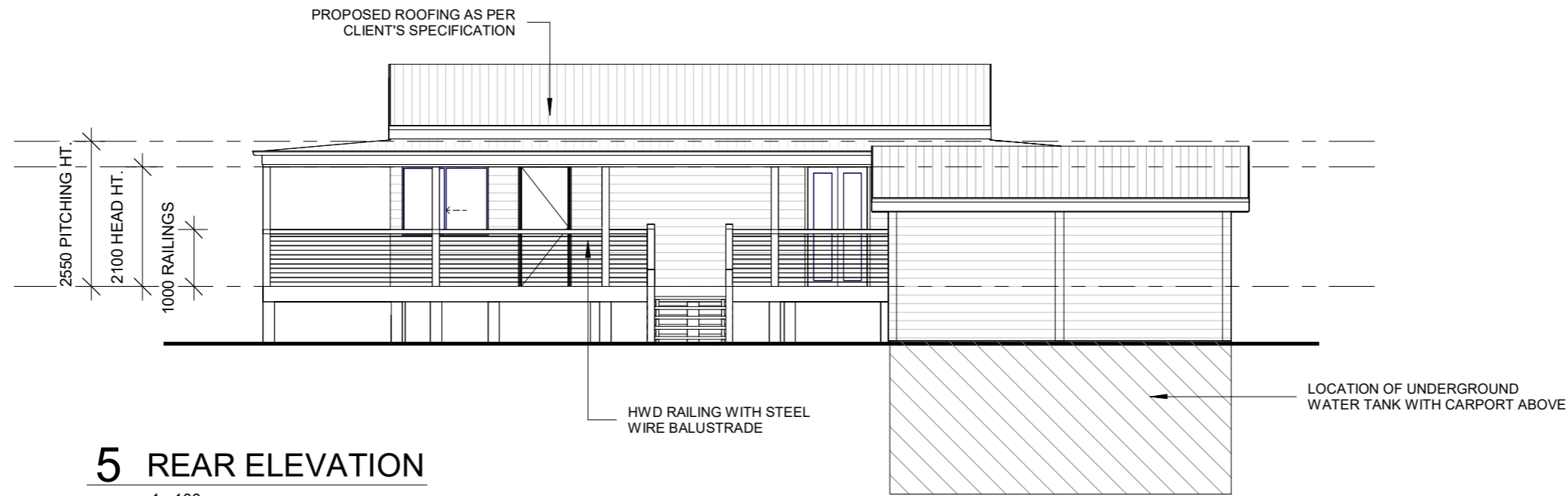
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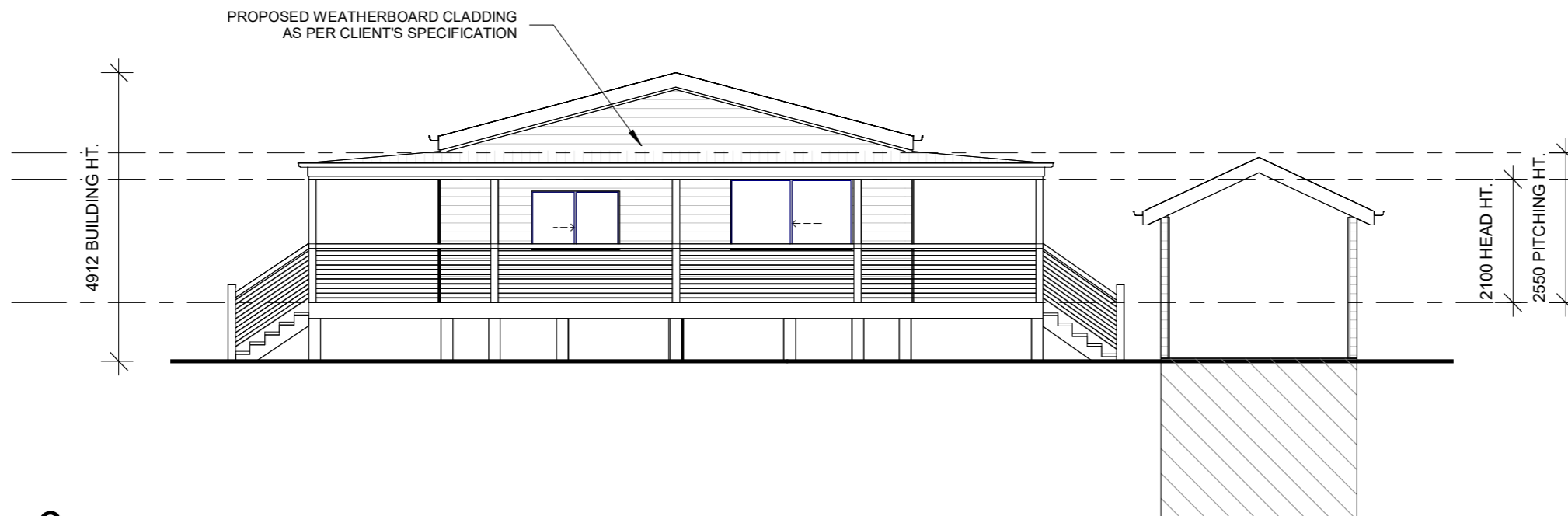
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- COMPLIANCE NOTES:**
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**5 REAR ELEVATION**  
1 : 100



**6 RIGHT-SIDE ELEVATION**  
1 : 100

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OF SURVEY BY LICENSED SURVEYOR

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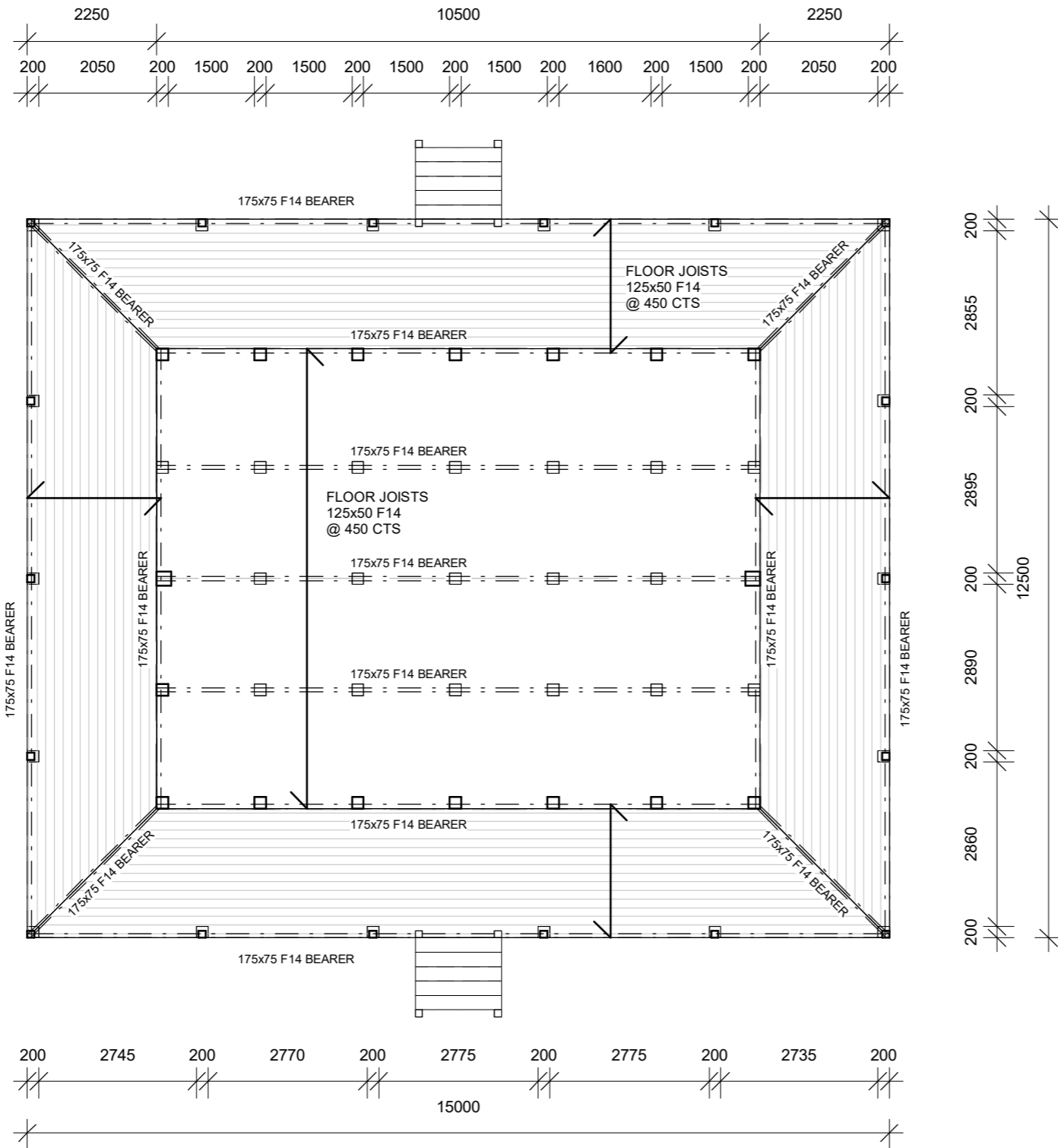


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**TERMITE PROTECTION NOTES:**

1. Termite protection to comply with NCC - ABCB - Part 3.4 - Termite risk management & AS 3660.1.
2. Footings & slabs to be monolithic and comply with AS 2870.
3. All penetrations through concrete slab monolithic (compliant with AS 2870) to have Termimesh system installed in compliance to manufacturer's specification. eg. Steel posts, step downs, retaining walls, control joints, drainage pipes, water supply pipes, electrical conduit, masonry piers, any penetrations through slab.
4. Timber framing and timber cladding on a concrete slab that complies with AS 2870 to be minimum of 75mm clear of external concrete path or external finished ground level. Where 75mm clearance to concrete or paved driveway/path is reduced Termimesh is to be fixed to main slab of dwelling with parging as per Termimesh installation details. Perimeter of slab to be protected with Termimesh to surrounding ground levels.
5. Builder to install termite protection notice in electrical meter box and on inside of kitchen cupboard door.
6. Owners are to ensure inspections are carried out in accordance with Termimesh & maintenance schedule. eg annually.
7. Warning piling or raising of garden to reduce the 75mm inspection zone will bridge the visual barrier system and place the structure at great risk of termite infestation and void all warranties.

**7 SUB-FLOOR PLAN**  
1 : 100

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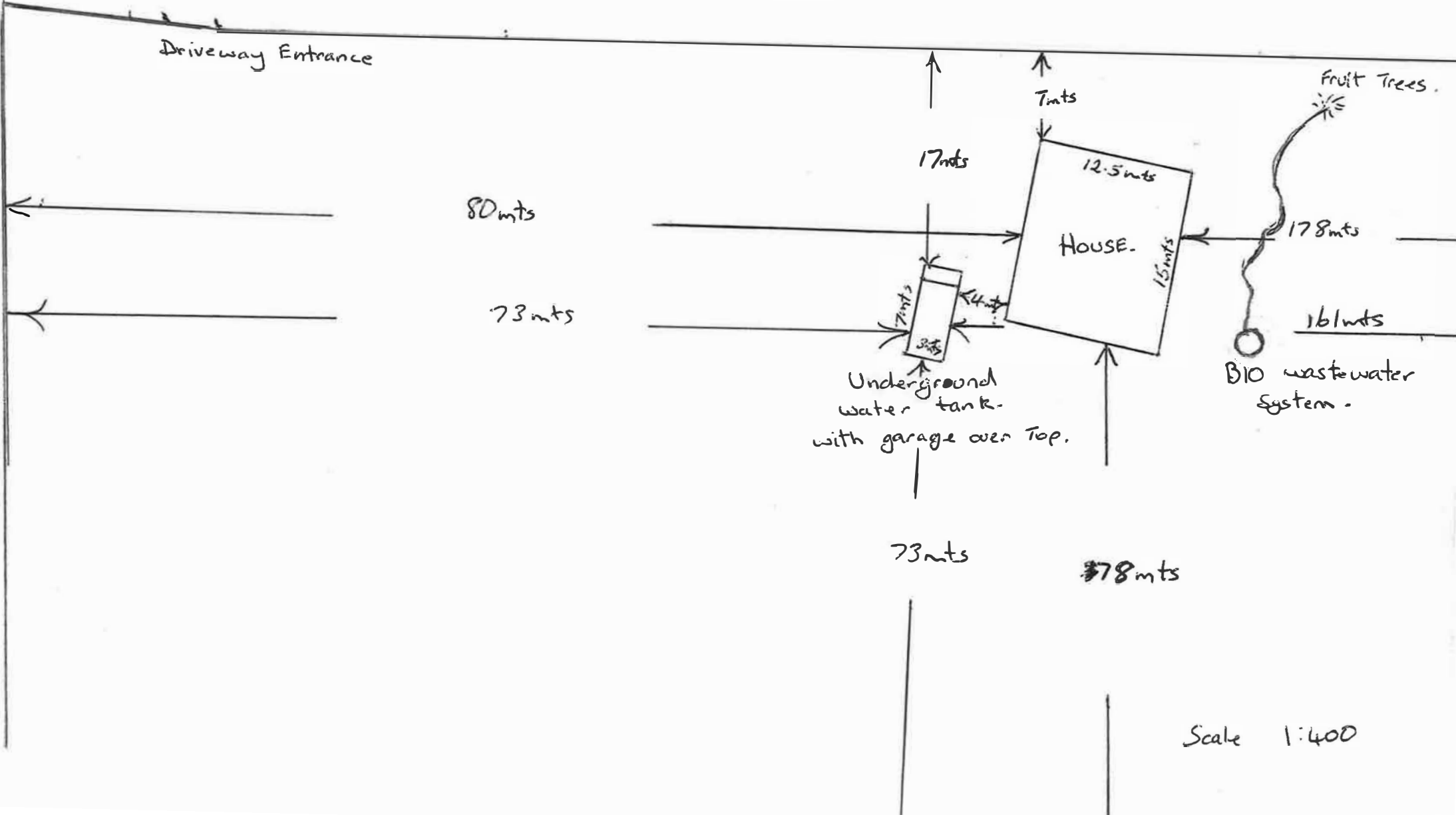
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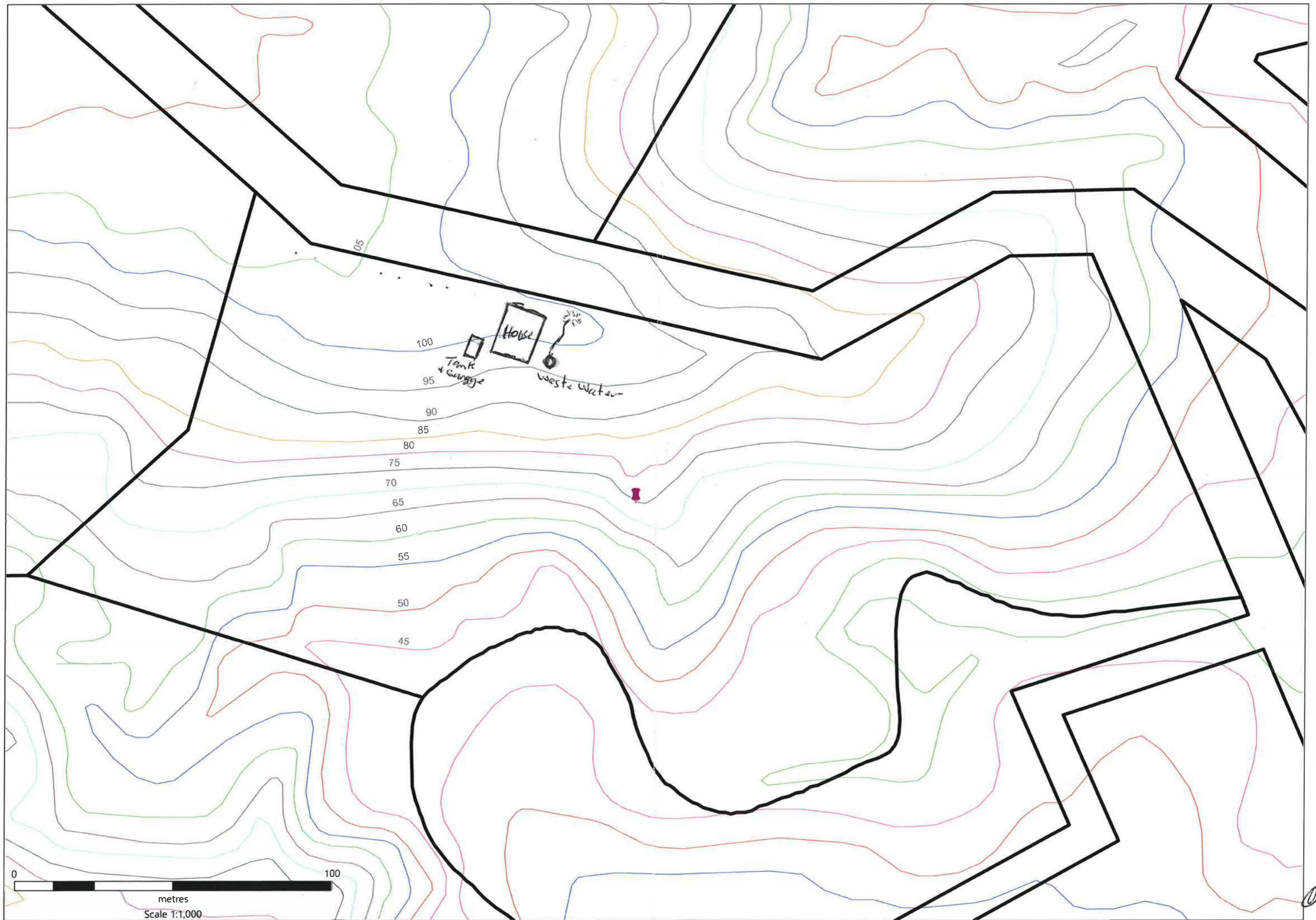
RED ROAD

RED ROAD.

Driveway Entrance



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0 100  
metres  
Scale 1:1,000

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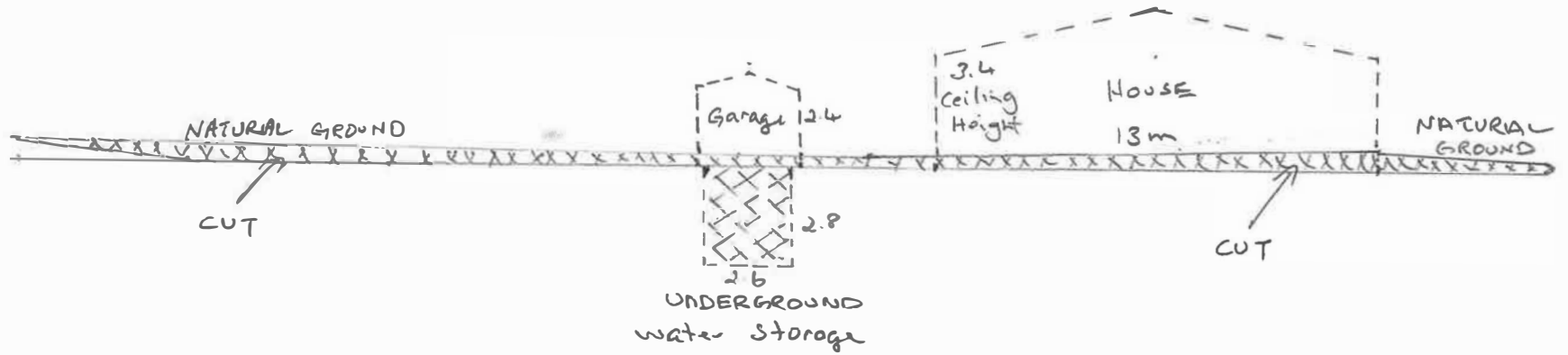
Protected Trees marked with X

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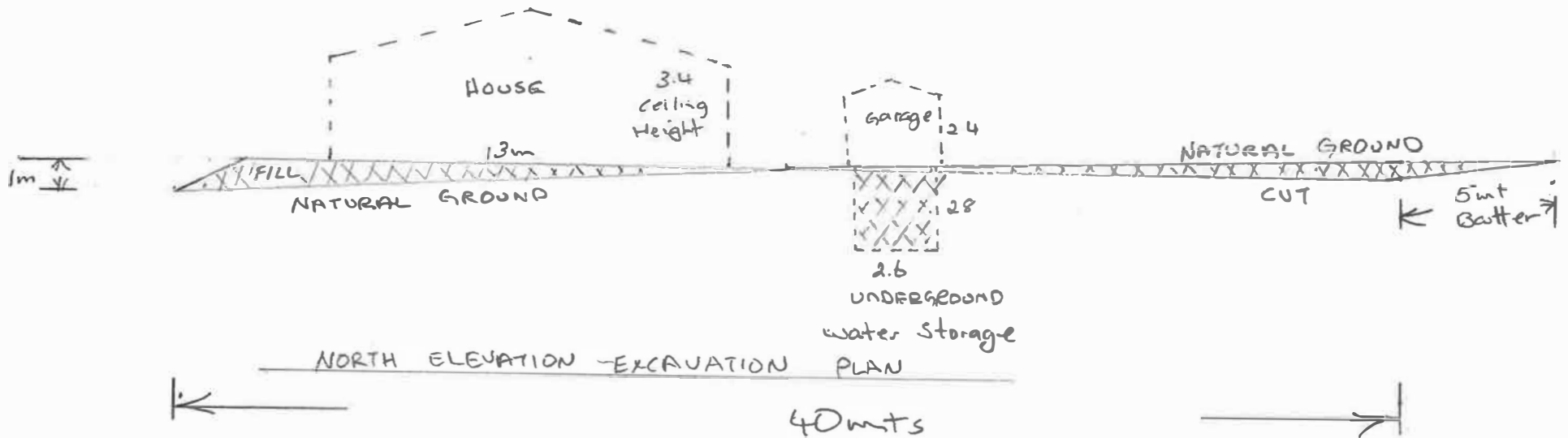




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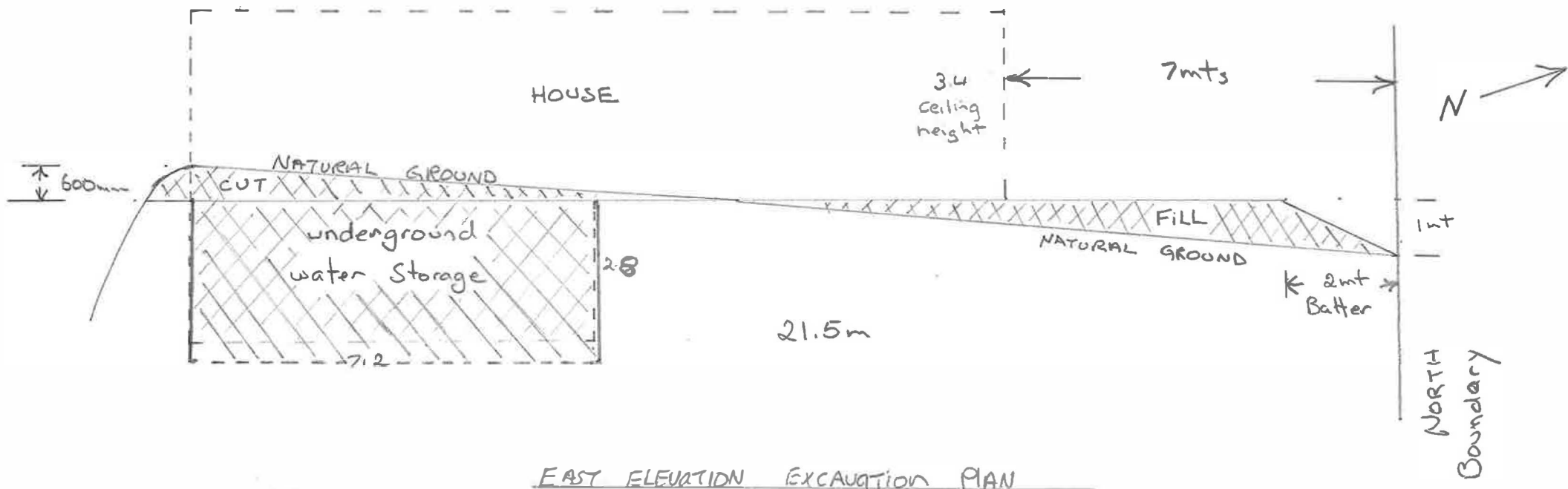


SOUTH ELEVATION EXCAVATION PLAN



NORTH ELEVATION EXCAVATION PLAN

40mts



EAST ELEVATION EXCAVATION PLAN

Scale 1:100