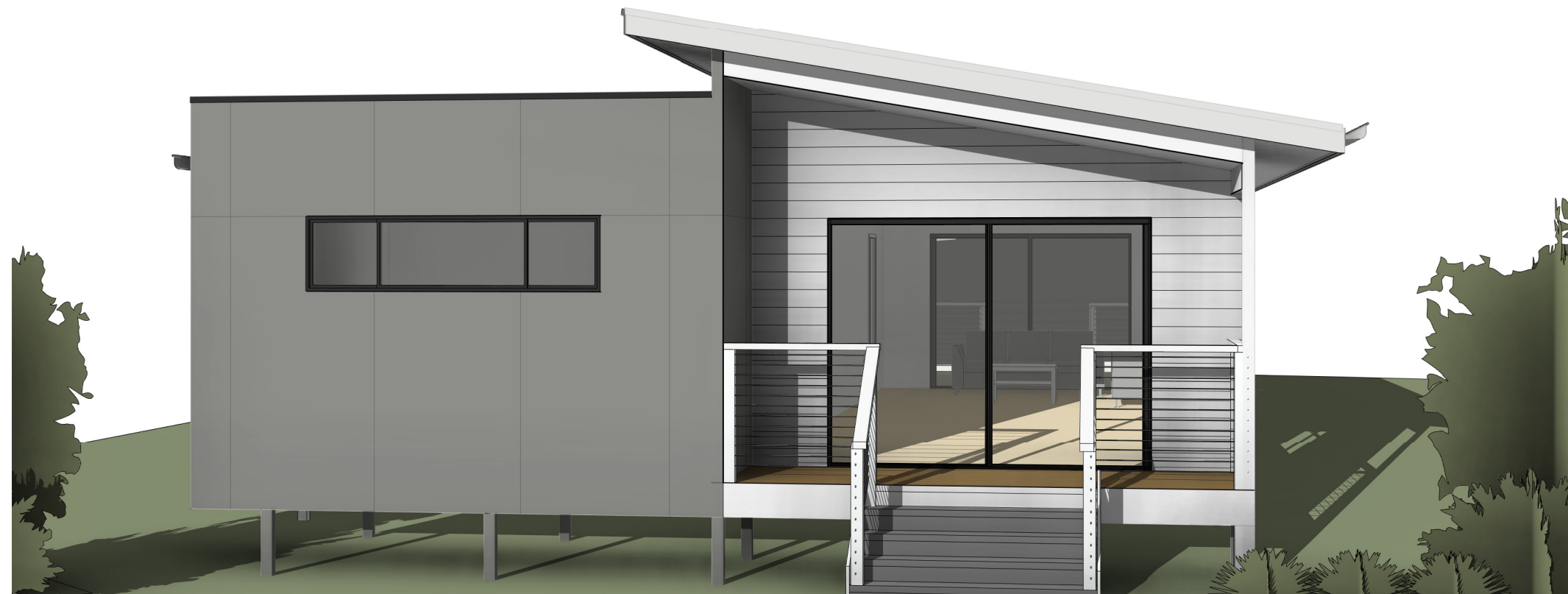


NOT TO SCALE - COLOURS ARE INDICATIVE ONLY. SUBJECT TO CHANGE



## Illustration of Design

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>41 GRASSY ROAD BURNT PINE, 2889 NORFOLK ISLAND</b>	S.P.: Por 35b2	ISSUE: <b>A</b>	REV A	DATE 29.02.24	DESCRIPTION PRELIMINARY DESIGN	DRAWN LP	CHECKED JMW
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: @ A3	WIND RATING: <b>N4 TBC.</b>					
CLIENT: <b>MURRAY DEVANTIER</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 001	LAND AREA: 674m <sup>2</sup>					

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

**imagine**  
by design

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

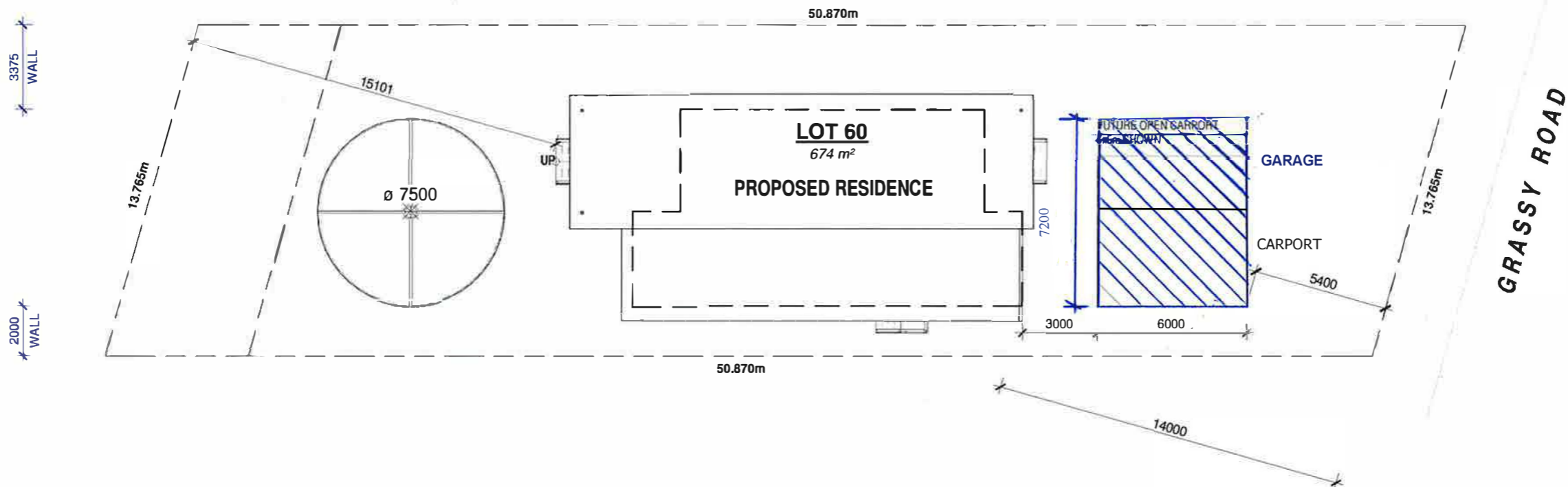
AREA SCHEDULE	
Name	Area
DECK	16.8 m <sup>2</sup>
PORCH	6.4 m <sup>2</sup>
GROUND FLOOR LIVING	108.4 m <sup>2</sup>
ACCESS DECK	1.3 m <sup>2</sup>
Grand total	132.8 m <sup>2</sup>

**ALERT:** THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

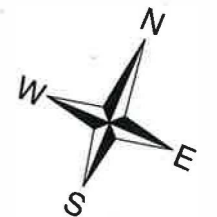
**NOTE:** PROVIDE DOUBLE GLAZING THROUGHOUT. GREY TINTED GLASS TBC.

**WIND CATEGORY: N4/C1 OR GREATER**  
NOTE THIS PROPERTY IS LOCATED IN A HIGH WIND REGION. REFER TO WIND SPECIFICATION / REPORT FOR FURTHER DETAILS

**NOTE:** CADASTRAL BOUNDARYS, LEVELS AND CONTOURS ARE INDICATIVE ONLY. SCALED FROM COUNCIL/DISCLOSURE PLANS. NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES.



1 SITE PLAN  
1 : 200



## Site Plan

PRELIM - NOT FOR CONSTRUCTION

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>41 GRASSY ROAD BURNT PINE, 2889 NORFOLK ISLAND</b>	S.P: Por 35b2	ISSUE: <b>A</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: 1 : 200 @ A3	WIND RATING: <b>N4 TBC.</b>	A	29.02.21	PRELIMINARY DESIGN	LP	JMW
CLIENT: <b>MURRAY DEVANTIER</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWGN: 100	LAND AREA: 674m <sup>2</sup>					

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129  
Phone: +61 73806 5100

**imagine**  
by design

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

### AREA SCHEDULE

Name	Area
DECK	16.8 m <sup>2</sup>
PORCH	6.4 m <sup>2</sup>
GROUND FLOOR LIVING	108.4 m <sup>2</sup>
ACCESS DECK	1.3 m <sup>2</sup>
Grand total	132.8 m <sup>2</sup>

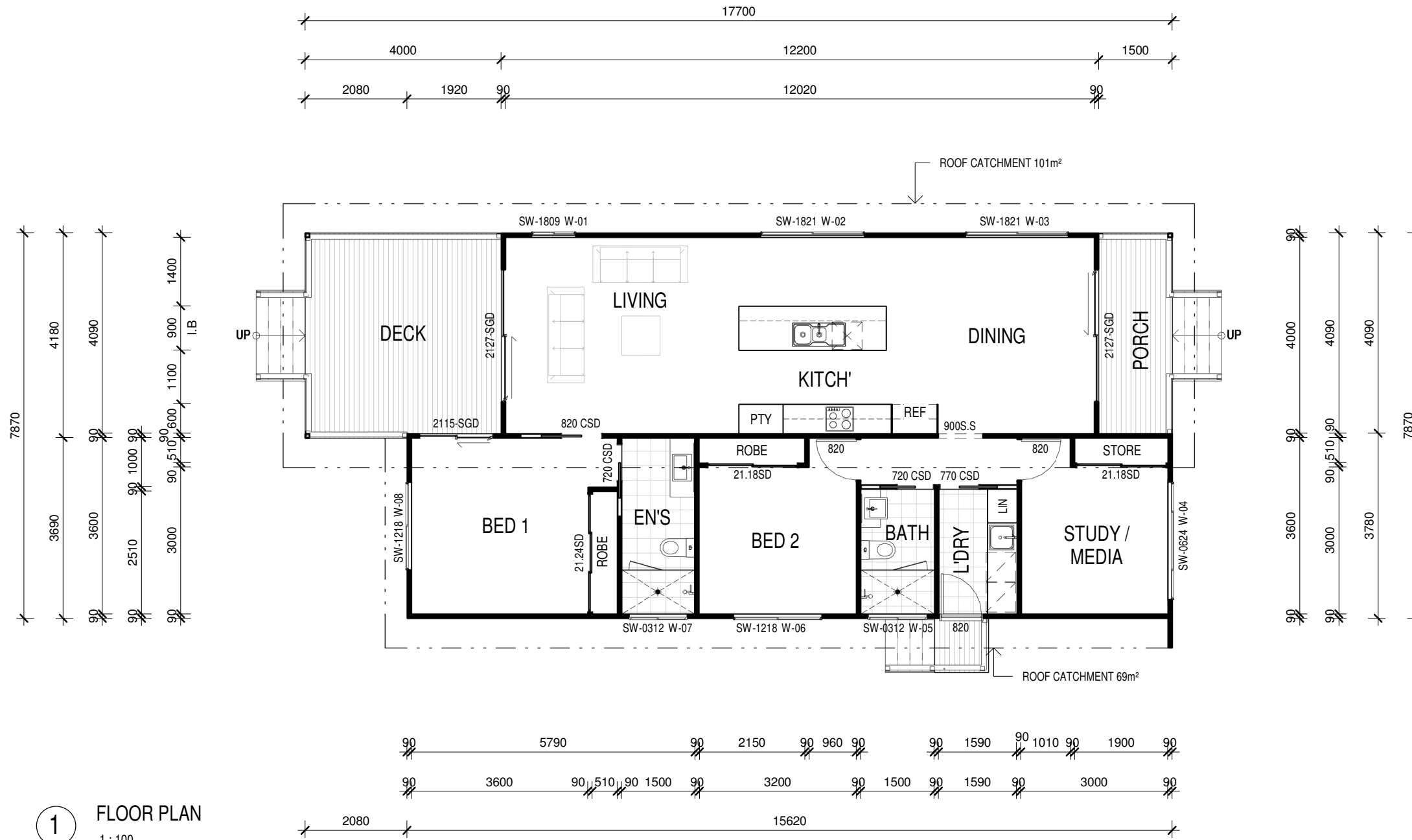
**NOTE:** FLYSCREENS TO ALL SLIDING DOORS AND WINDOWS

**ALERT:** THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

**NOTE:** PROVIDE DOUBLE GLAZING THROUGHOUT. GREY TINTED GLASS TBC.

### WINDOW SCHEDULE

Mark	Type	Height	Width	Description
01	SW-1809	1800	900	Sliding Window - XO-OO
02	SW-1821	1800	2110	Sliding Window - XO-OO
03	SW-1821	1800	2110	Sliding Window - XO-OO
04	SW-0624	600	2410	Sliding Window - XOX
05	SW-0312	300	1200	Sliding Window - XO
06	SW-1218	1200	1800	Sliding Window - XO
07	SW-0312	300	1200	Sliding Window - XO
08	SW-1218	1200	1800	Sliding Window - XO



**1** FLOOR PLAN  
1 : 100

PRELIM - NOT FOR CONSTRUCTION

**imagine**  
by design

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

## Ground Floor Plan

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>41 GRASSY ROAD BURNT PINE, 2889 NORFOLK ISLAND</b>	S.P: Por 35b2	ISSUE: <b>A</b>	REV A	DATE 29.02.24	DESCRIPTION PRELIMINARY DESIGN	DRAWN LP	CHECKED JMW
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: 1 : 100 @ A3	WIND RATING: <b>N4 TBC.</b>					
CLIENT: <b>MURRAY DEVANTIER</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 200	LAND AREA: 674m <sup>2</sup>					

**ALERT:** THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING T.B.C

**LEGEND**

Cs	Colorbond Steel Roofing
Hfc	James Hardie - 'Hardieflex' cladding.
Wb-180	Scyon Linea Weatherboards 180mm Cladding



1 NORTH ELEVATION  
1 : 100



2 EAST ELEVATION  
1 : 100

**Elevations**

PRELIM - NOT FOR CONSTRUCTION

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>41 GRASSY ROAD BURNT PINE, 2889 NORFOLK ISLAND</b>	S.P: Por 35b2	ISSUE: <b>A</b>	REV A	DATE 29.02.24	DESCRIPTION PRELIMINARY DESIGN	DRAWN LP	CHECKED JMW
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: 1 : 100 @ A3	WIND RATING: <b>N4 TBC.</b>					
CLIENT: <b>MURRAY DEVANTIER</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 300	LAND AREA: 674m <sup>2</sup>					

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129  
Phone: +61 73806 5100

**imagine**  
by design

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

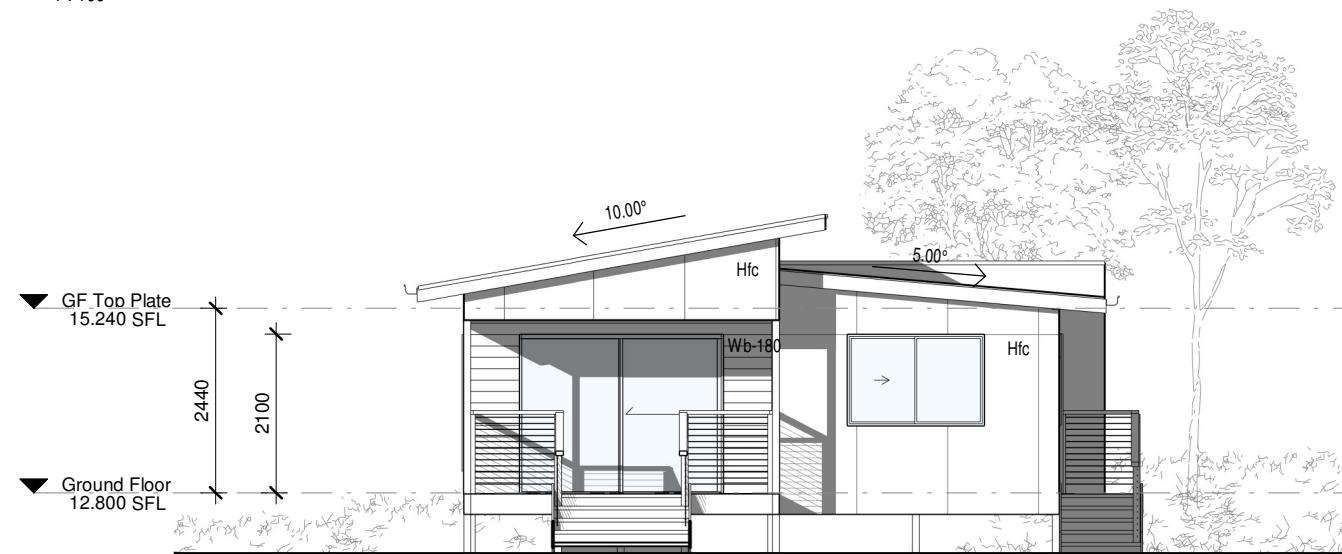
**ALERT:** THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING T.B.C

**LEGEND**

Cs	Colorbond Steel Roofing
Hfc	James Hardie - 'Hardieflex' cladding.
Wb-180	Scyon Linea Weatherboards 180mm Cladding



① SOUTH ELEVATION  
1 : 100



② WEST ELEVATION  
1 : 100

**Elevations**

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>41 GRASSY ROAD BURNT PINE, 2889 NORFOLK ISLAND</b>	S.P: Por 35b2	ISSUE: <b>A</b>	REV A	DATE 29.02.24	DESCRIPTION PRELIMINARY DESIGN	DRAWN LP	CHECKED JMW
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: 1 : 100 @ A3						
CLIENT: <b>MURRAY DEVANTIER</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 301	LAND AREA: 674m <sup>2</sup>					

PRELIM - NOT FOR CONSTRUCTION

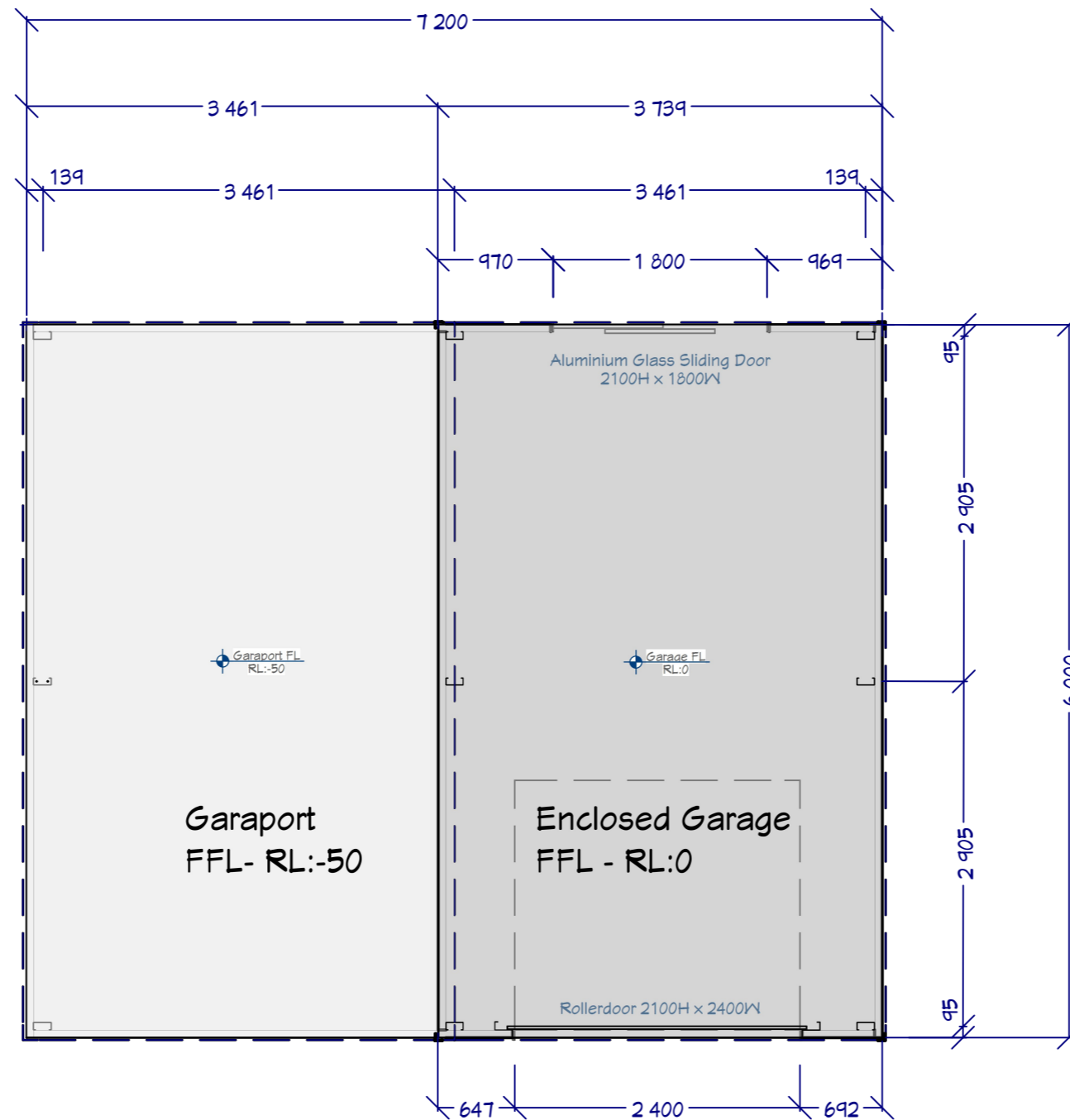
**imagine**  
by design

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

QBCC: 1511 1256





©  
 These plans are subject to the laws governing copyright and were prepared solely for portion 72c2 Norfolk Island. No unauthorised copying in part of full without written consent is permitted.

Builder is to verify all levels, heights and details prior to the works commencing. Locate all electrical, telephone, water and sewerage services. Direct all water and sewerage to lawful points of discharge and as directed by the Norfolk Island Administration. All materials and methods of construction are to comply with the Building Code of Australia, Standards Association of Australia, Codes and Norfolk Island Government Requirements. Do not scale drawings. Figured dimensions take precedence over scaled sizes.  
 IF IN DOUBT ask!!!!

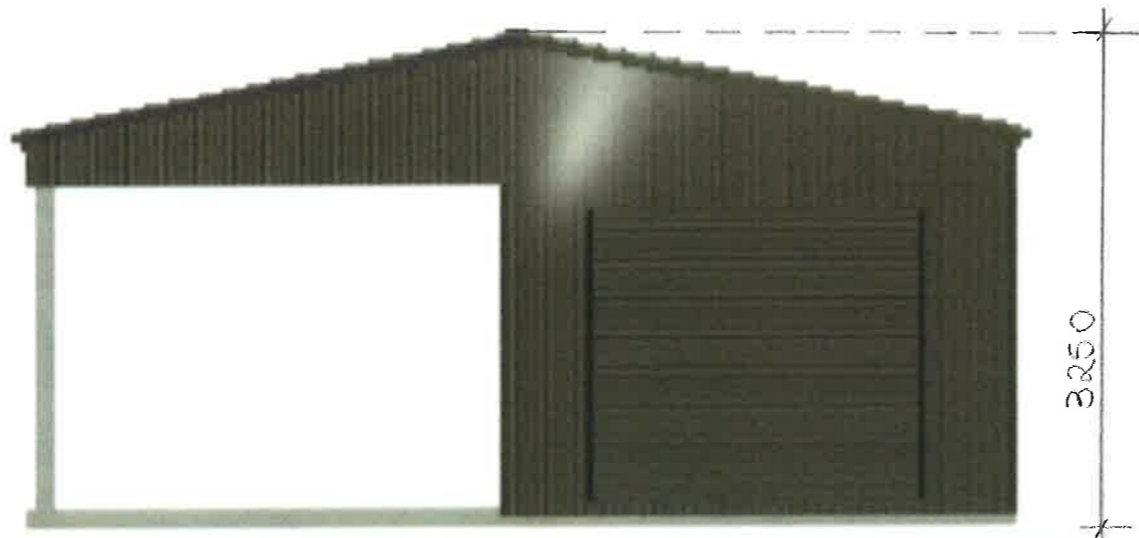
**CHRISTIAN BAILEY AGENCIES**  
 2a QUEEN ELIZABETH AVE, NORFOLK ISLAND  
 Phone 23007  
 Email charles@christianbailey.nlk.nf  
 Internet - www.christianbaileyagencies.com

PROPOSAL: Proposed Garage  
 FOR : Murray and Marcia Devantier  
 AT : GRASSY RD. NORFOLK ISLAND

Plan View  
 1:50

DATE: 27/5/2024  
 DRAWN:  
 JOB No:

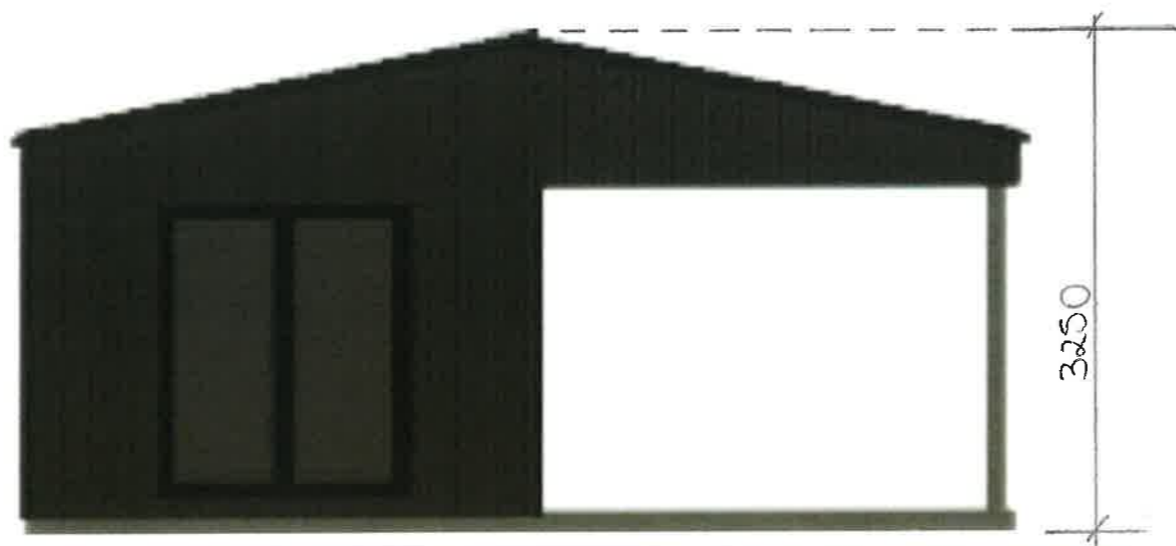
SHEET:  
 A-02  
 2 of 5



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

©  
 These plans are subject to the laws governing copyright and were prepared solely for portion 72c2 Norfolk Island. No unauthorised copying in part or full without written consent is permitted.

Builder is to verify all levels, heights and details prior to the works commencing. Locate all electrical, telephone, water and sewerage services. Direct all water and sewerage to lawful points of discharge and as directed by the Norfolk Island Administration. All materials and methods of construction are to comply with the Building Code of Australia, Standards Association of Australia, Codes and Norfolk Island Government Requirements. Do not scale drawings. Figured dimensions take precedence over scaled sizes.  
 IF IN DOUBT ask!!!!

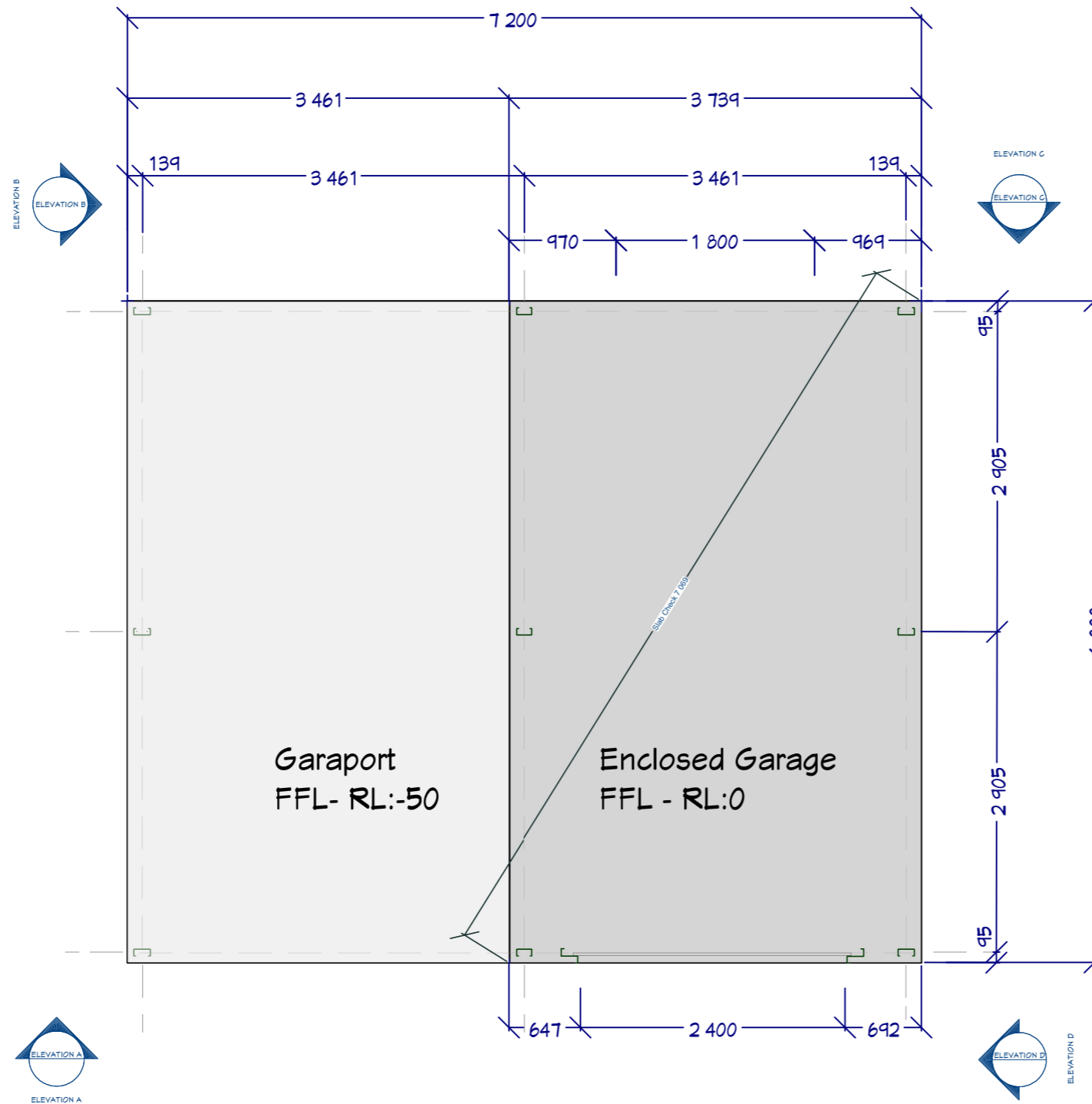
**CHRISTIAN BAILEY AGENCIES**  
 2a QUEEN ELIZABETH AVE, NORFOLK ISLAND  
 Phone 23007  
 Email charles@christianbailey.nik.nf  
 internet - www.christianbaileyagencies.com

PROPOSAL: Proposed Garage  
 FOR : Murray and Marcia Devantier  
 AT : GRASSY RD. NORFOLK ISLAND

**ELEVATIONS**  
 1:50

DATE: 27/5/2024	SHEET:
DRAWN:	A-03
JOB No:	3 of 5





©  
 These plans are subject to the laws governing copyright and were prepared solely for portion 72c2 Norfolk Island. No unauthorised copying in part of full without written consent is permitted.

Builder is to verify all levels, heights and details prior to the works commencing. Locate all electrical, telephone, water and sewerage services. Direct all water and sewerage to lawful points of discharge and as directed by the Norfolk Island Administration. All materials and methods of construction are to comply with the Building Code of Australia, Standards Association of Australia, Codes and Norfolk Island Government Requirements. Do not scale drawings. Figured dimensions take precedence over scaled sizes.  
 IF IN DOUBT ask!!!!

**CHRISTIAN BAILEY AGENCIES**  
 2a QUEEN ELIZABETH AVE, NORFOLK ISLAND  
 Phone 23007  
 Email charles@christianbailey.nlk.nf  
 Internet - www.christianbaileyagencies.com

PROPOSAL: Proposed Garage  
 FOR : Murray and Marcia Devantier  
 AT : GRASSY RD. NORFOLK ISLAND

Concrete Slab Setout  
 DATE: 27/5/2024  
 DRAWN:  
 JOB No:  
 SHEET: A-04  
 4 of 5